

TOWN OF CHAPIN
Architectural Review Board Rescheduled Regular Meeting
Council Chambers, Chapin Town Hall
May 14, 2025
6:00 PM

AGENDA

Call to Order and Determine Quorum

Statement of Freedom of Information Act Compliance

Approval of Minutes

1. March 5, 2025 Regular Meeting Minutes

Public Comments related to agenda items

Discussion Items

2. Preliminary Review
 - a. Publix Outparcel 2
 - i. Applicant Presentation
 - ii. Staff Comments
 - iii. ARB Discussion

Staff Updates

Adjourn

PUBLIC COMMENT POLICY

PROCEDURE:

Persons wishing to make public comments concerning items related to the current meeting agenda, with the exception of personnel and contractual matters, shall first sign in with the Municipal Clerk before the meeting and provide the following information:

1. Name, Address, and Contact Information;
2. Topic of Public Comment; and
3. Indicate whether a Chapin Resident, Chapin Water/Sewer Customer, or Reside in the Chapin Water/Sewer District.

Comments are limited to three (3) minutes per person and no personal or verbal attacks will be entertained. The Council is interested in hearing your concerns, but speakers should not expect action or deliberation on subject matter brought up during any Public Comments on the agenda. Topics requiring further investigation may be referred to Town Staff and may be scheduled for a future agenda.

DEFINITIONS:

Chapin Resident: Reside in Town limits.

Chapin Water/Sewer Customer: Customer of the designated Chapin Water/Sewer District - Including an owner or operator of a local business.

Reside in Chapin Water/Sewer District: Reside in the designated Chapin Water/Sewer District – Area of Lexington County north of Lake Murray.

APPEARANCE OF CITIZENS

Town Code 2.212 – Any citizen of the Town shall be entitled to be placed on the agenda of any regular meeting to discuss any municipal matter, with the exception of personnel and contractual matters. Persons desiring to be placed on the agenda shall notify the Municipal Clerk not less than a week prior to the meeting. The request shall be in writing stating the reason therefor.

**TOWN OF CHAPIN
ARCHITECTURAL REVIEW BOARD
REGULAR MEETING MINUTES**

**Wednesday March 5, 2025
6:00 P.M.**

Town Hall

Members Present: Member Daniel Powell, Member Bryson Tucker, Member Gerald Meetze, Chair Jason King, Vice Chair Harmon Reed

Staff Present: Town Clerk Shannon Bowers, Planning & Zoning Manager Reid Radtke

Guests: Lucas Braun and Sam Walker – Keith Port Company

Call to Order: Chair King called the meeting to order at 6:00 p.m., determined there was a quorum, and acknowledged the appropriate notifications in compliance with the SC Freedom of Information Act had been met.

Approval of minutes: Member Meetze moved to amend the February 5, 2025 meeting minutes as presented. Member Powell seconded the motion. Member Meetze indicated that during the discussion of landscaping around the front and left sides of the Wendy’s property, he suggested “a variety of shrubbery be used” not “holly”. Would like to amend the minutes to reflect that statement. No further discussion, motion passed unanimously.

Chair Jason King:	Yes
Vice Chair Harmon Reed:	Yes
Member Gerald Meetze:	Yes
Member Daniel Powell:	Yes
Member Bryson Tucker:	Yes

Public Comments Related to Agenda Items

There were no public comments

Discuss Items

Preliminary Review: Publix Outparcel: The applicant, Mr. Braun, began the discussion by stating the reason for coming before the board. He noted they had been before the Architectural Review Board (ARB) months before, but wanted to revisit with a preliminary review to ensure they were on the correct path for design guidelines. He then described the preliminary plans for the parcel which included: main entrance “sail” made of composite siding, multiple brick colors for contrast and variety, broken up roofline with a mix of materials to allow for a break in plane, mechanical units on roof with screening on all sides, and two locations for signage.

Staff then gave a report on the preliminary design and noted the following would need to be addressed for an official application:

- Main entrance “sail” gives the building a more modern look, while use of brick and design of building is more in line with architectural standards
- Confirmation on dimensions of façade
- Windows – materials and size – need clarification on
- Will need more details on the parapet to ensure compliance with code
- Aluminum cap not allowed
- Mechanical equipment screening – location and screening materials will need to be clarified (must be shielded from line of sight).
- Will need materials for dumpster screening
- Clarification of location of open space – preliminary plan indicates 12%
- Plan updated to reflect property buffer
- Clarification on landscaping plan – preliminary plan currently shows an invasive species and would not be allowed
- Will need to show lighting plan
- Will need to show interconnectivity – to include connectivity to Publix shopping center and pedestrian connections

The ARB then discussed possible options for the design which included: main entrance “sail” too contemporary for the area and does not match other buildings in the area – would like it to be more “main street” in design, ensuring mechanical equipment was screened from roadway view, dumpster screening materials to be the same as the principal building, lighting plan to ensure lighting is contained to the property with no spillover, interconnectivity shown on plan, making the maximum setback from Lexington Avenue 10ft, landscaping around the dumpster area and along the south elevation toward the parking lot. Mr. Braun followed up, stating that the “sail” is a part of their logo for branding, but worked with staff to bring the building more in compliance. Applicants ended by thanking the ARB for their time and allowing them to get better information to present a full application.

Staff Updates

Mr. Radtke informed the ARB that preliminary discussions with adjacent properties to this parcel have been taking place, and he anticipates the ARB will see more preliminary reviews in the coming months. He also updated the board on properties adjacent to the McAlister’s Deli, who are also working through the process for development.

Adjournment: Member Meetze moved to adjourn the meeting. Vice Chair Reed seconded the motion. Meeting adjourned at 6:52 p.m.

ARB APPROVED (Date): _____

Attest:

Shannon Bowers, Town Clerk

Jason King, ARB Chair

Staff Evaluation of Bank Preliminary

Property Location: Lexington Ave
Tax Map Number: 000721-02-024
Property Zoning District: Village Commercial (VC)
Property Overlay District: Downtown
Applicant: Frank Dougherty

This commercial development is proposed for development of a Bank within the Village Commercial district. The building is a total of 1900 SF brick building. Property owner is currently working with the Town staff on preliminary plans. Review of the building appears to be contemporary with some components that do not meet the overlay district requirements and is generic style with no unique features that would meet the intent of the Code. The drive-thru and ATM have received a variance approval from the BZA.

In review of the requirements staff has identified the proposed development for a preliminary review with their conceptual plans with the of requirements of the Town's Zoning Ordinance.

The following items need clarification for compliance or cannot be ascertained:

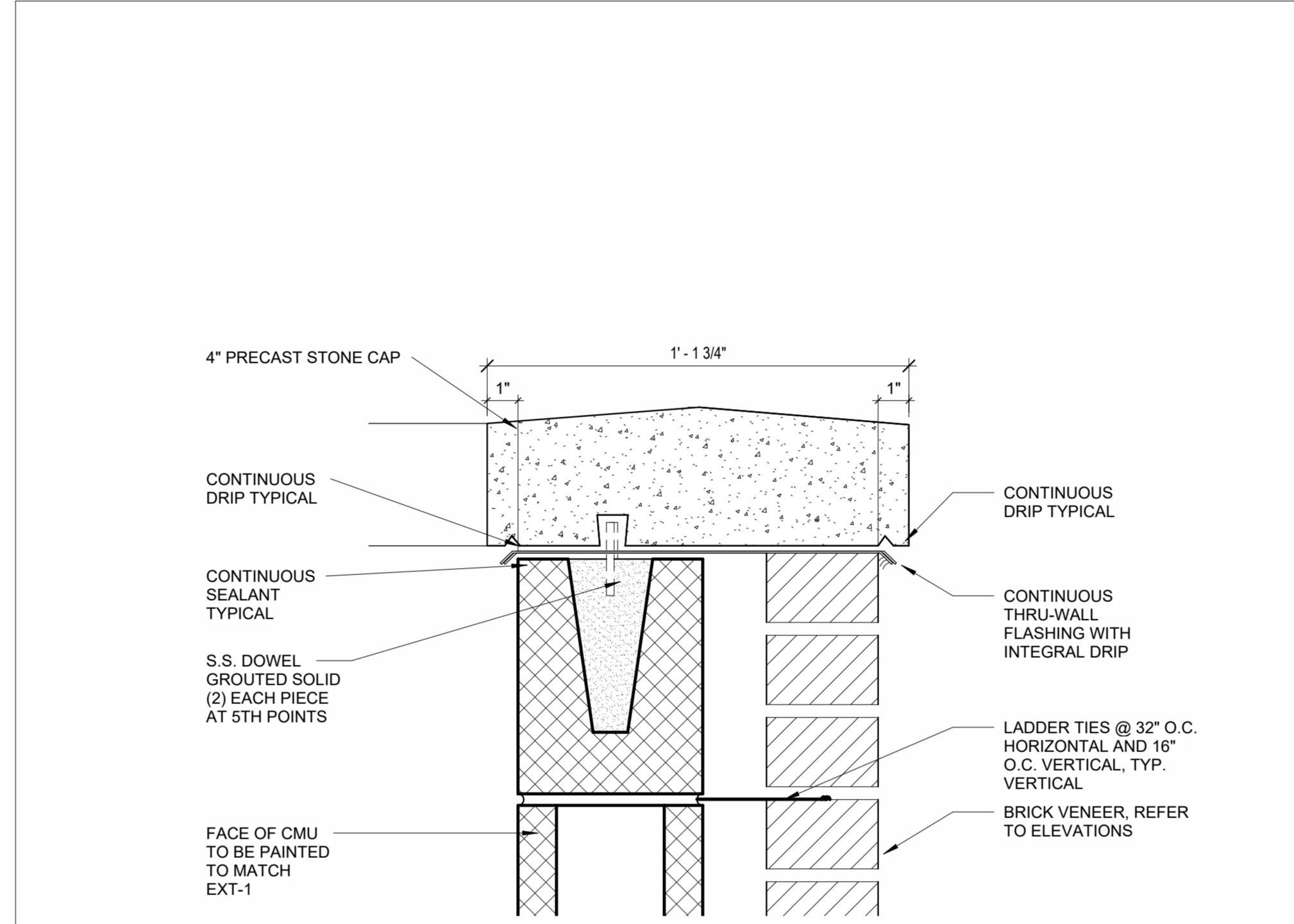
- Exterior color of building that are shown are brick colors are listed as; Steel Gray. **6.11.3.C.3. Mural painting artwork will require approval from Town Administrator and is a completely separate approval process.**
- Architectural design should align with the existing styles and overall ascetics of the downtown area. **6.11.1**
- Street frontage of building does not meet the building frontage requirement of 40% glazing. **6.11.3.C.4. – Asking for ARB reduction**
- Window material and size need clarification. **(6.11.3.c)**
- Roof pitch / slope of the roof. = 5.12. Parapet roof not permitted. **124, 6.11.4.c. Request consideration from ARB**
- Confirm height of parapet is at least 1' higher than mechanical units on Roof. **6.11.7.b**
- Exterior ascetics need to be screened and need to match color of building to blend. **6.11.7.b** (mechanical equip, down spouts, exterior ladder, etc.) Landscaping can work to blend.
- Open space requirements is in compliance, however will need details on plans for final review. VC requires 5% open space. **(5.4.2.a.)**
- Pedestrian Access plan does not show connection to abutting property. (8.6.2.)
- Landscaping requirements may need further shrubs added per the ARB.
- Traffic Impact Study will be required prior to final approval. **Section 5.6**

Documents that are not provided:

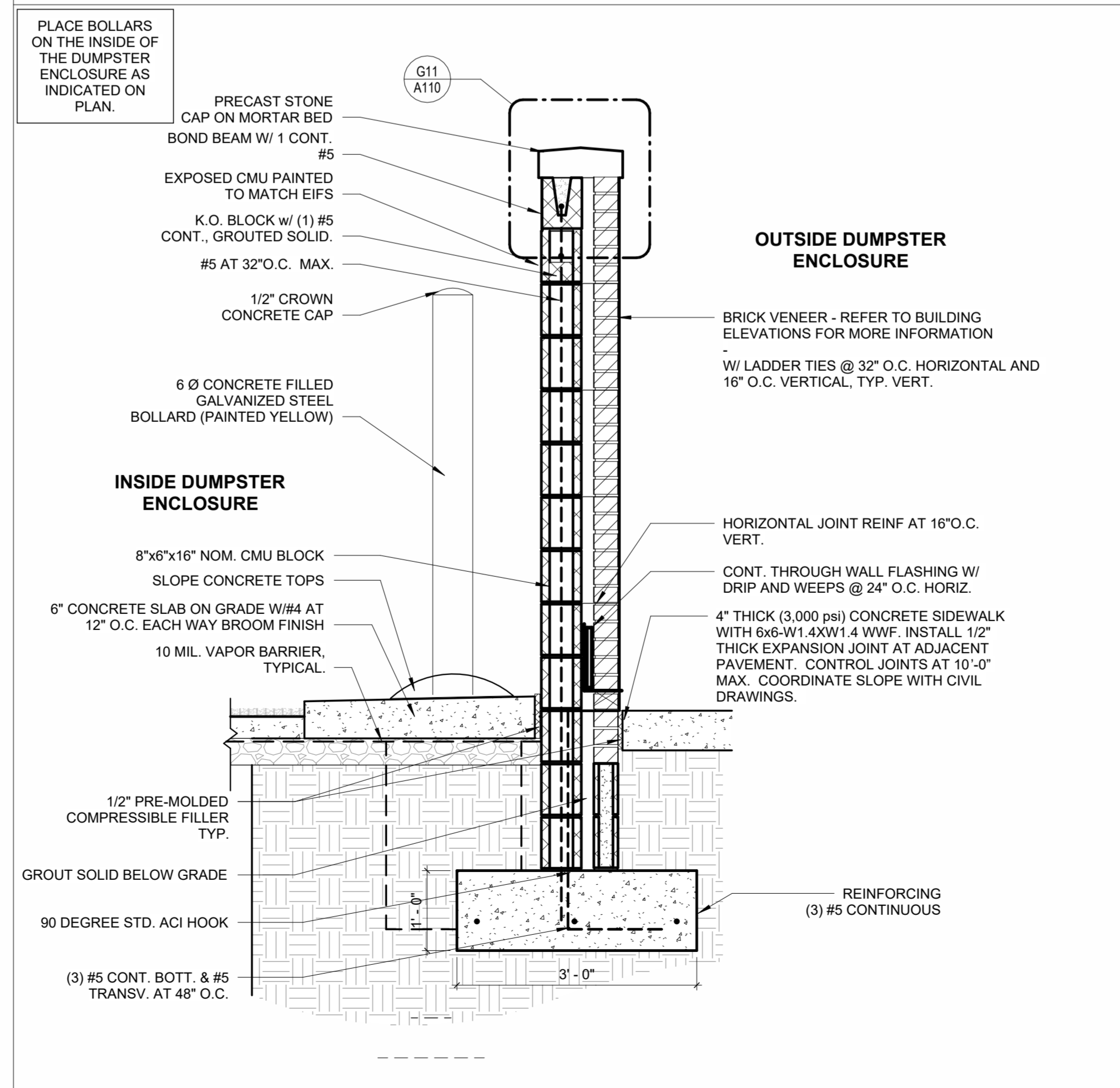
1. Exterior Building / Lighting Plan
2. Landscaping plan
3. Photometric plan

****NOTE** Keep in mind to become familiar with (adjacent parcel) for sharing building elevations and alignment coordination.**

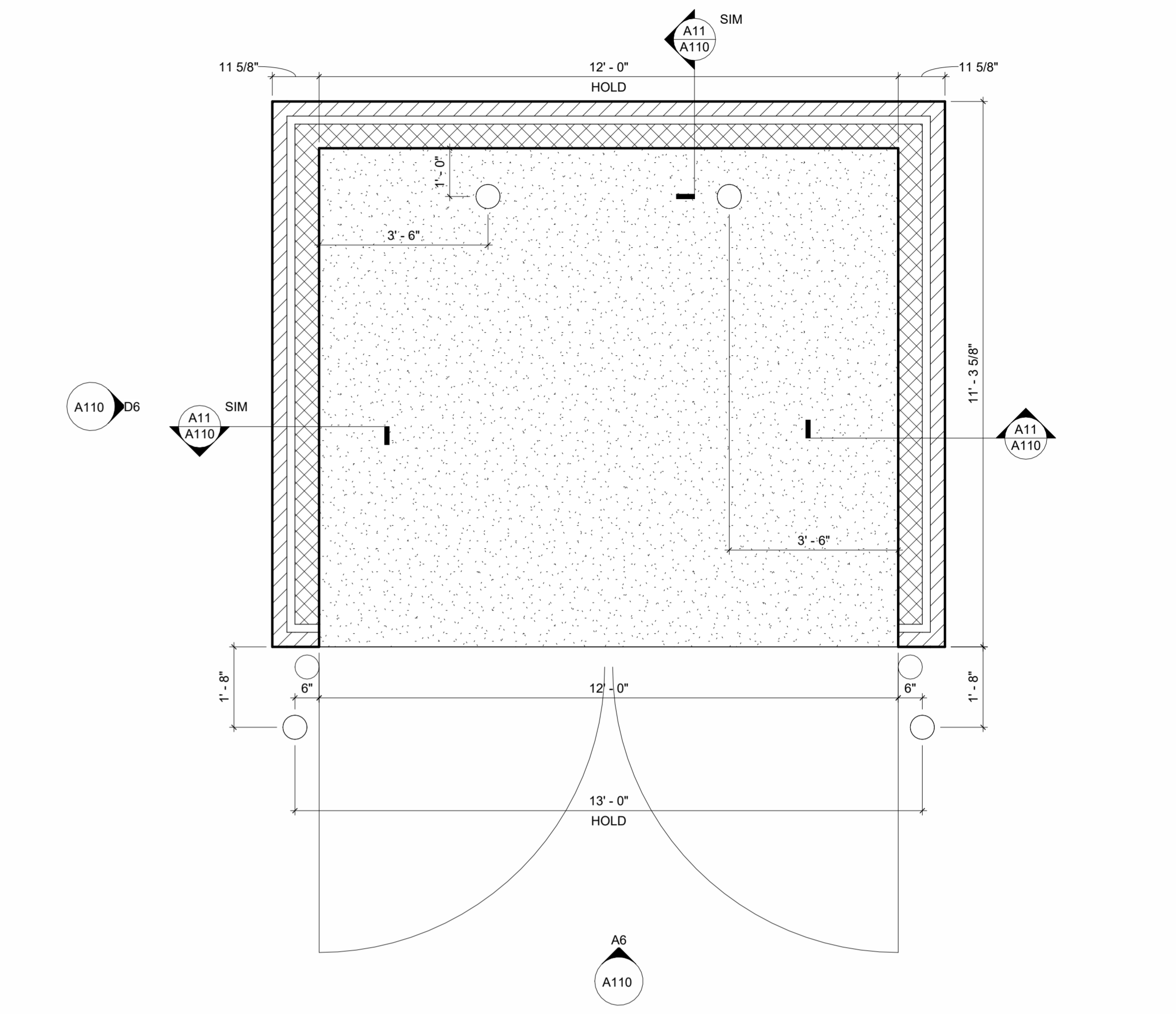
This document is the property of Baker Donnelly Printing, Inc. Neither the document nor the information contained herein may be copied or used for other than the specific project for which it was prepared without the written consent of Baker Donnelly Printing, Inc.



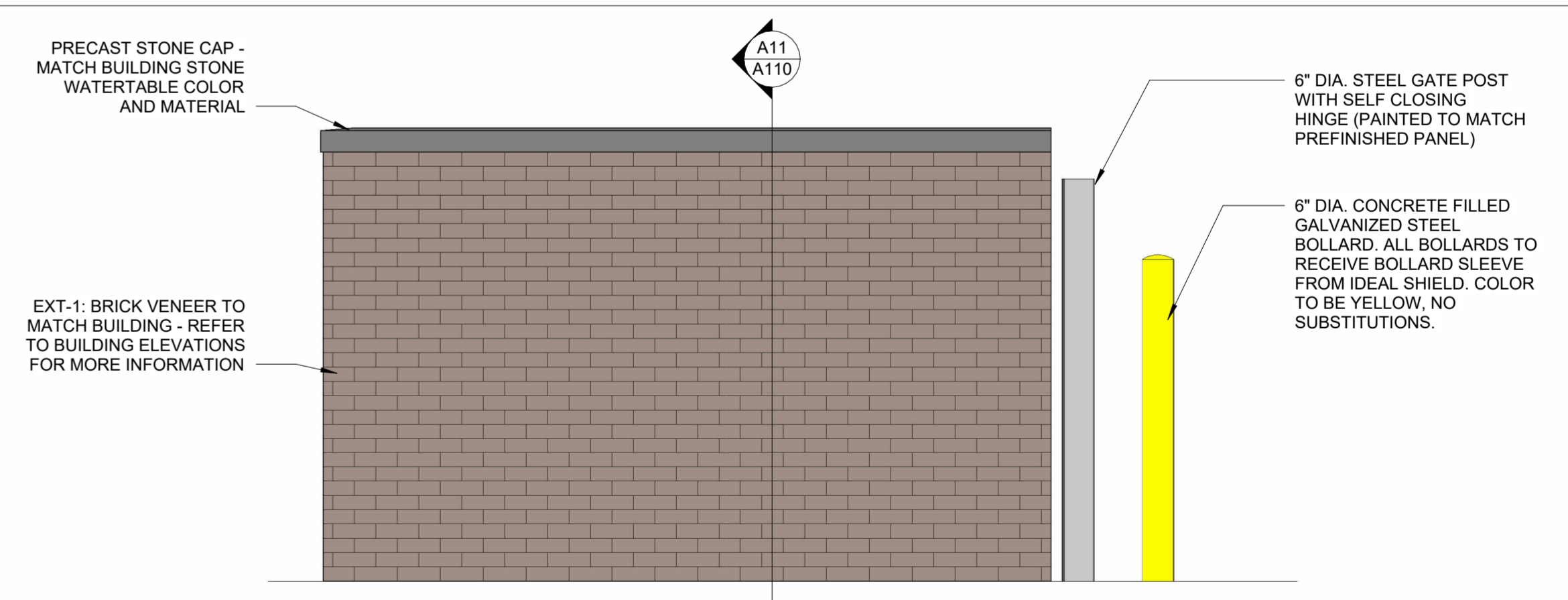
G11 A110 3" = 1'-0" DUMPSTER ENCLOSURE CAP SECTION



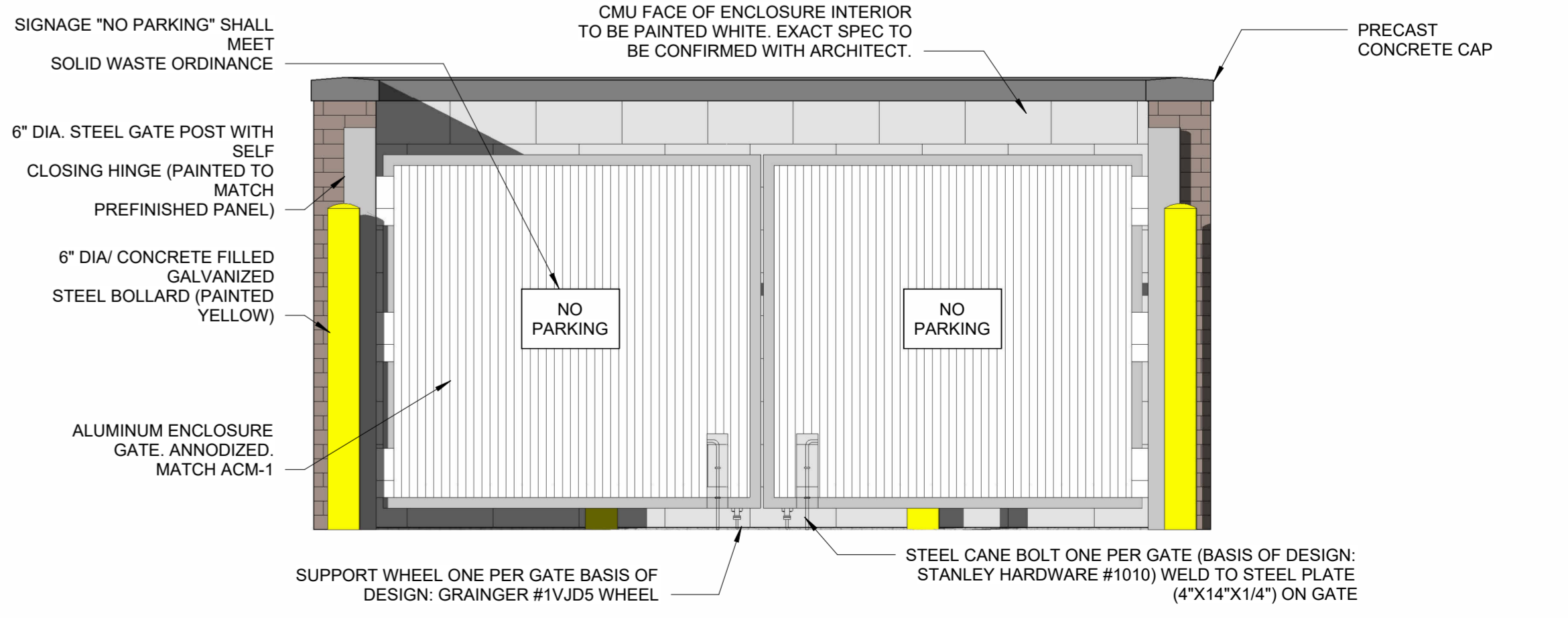
A11 A110 3/4" = 1'-0" DUMPSTER ENCLOSURE WALL SECTION



G6 A110 1/2" = 1'-0" TRASH ENCLOSURE ENLARGED PLAN



D6 A110 1/2" = 1'-0" TRASH ENCLOSURE SIDE ELEVATION



A6 A110 1/2" = 1'-0" TRASH ENCLOSURE FRONT ELEVATION

Project Manager
M. ASCHBACHER-SMITH
Drawn
R. HANDS
Checked
K. BENFIELD
Issue/Revision/Date
3.19.2025
Project Number
FIF22.36

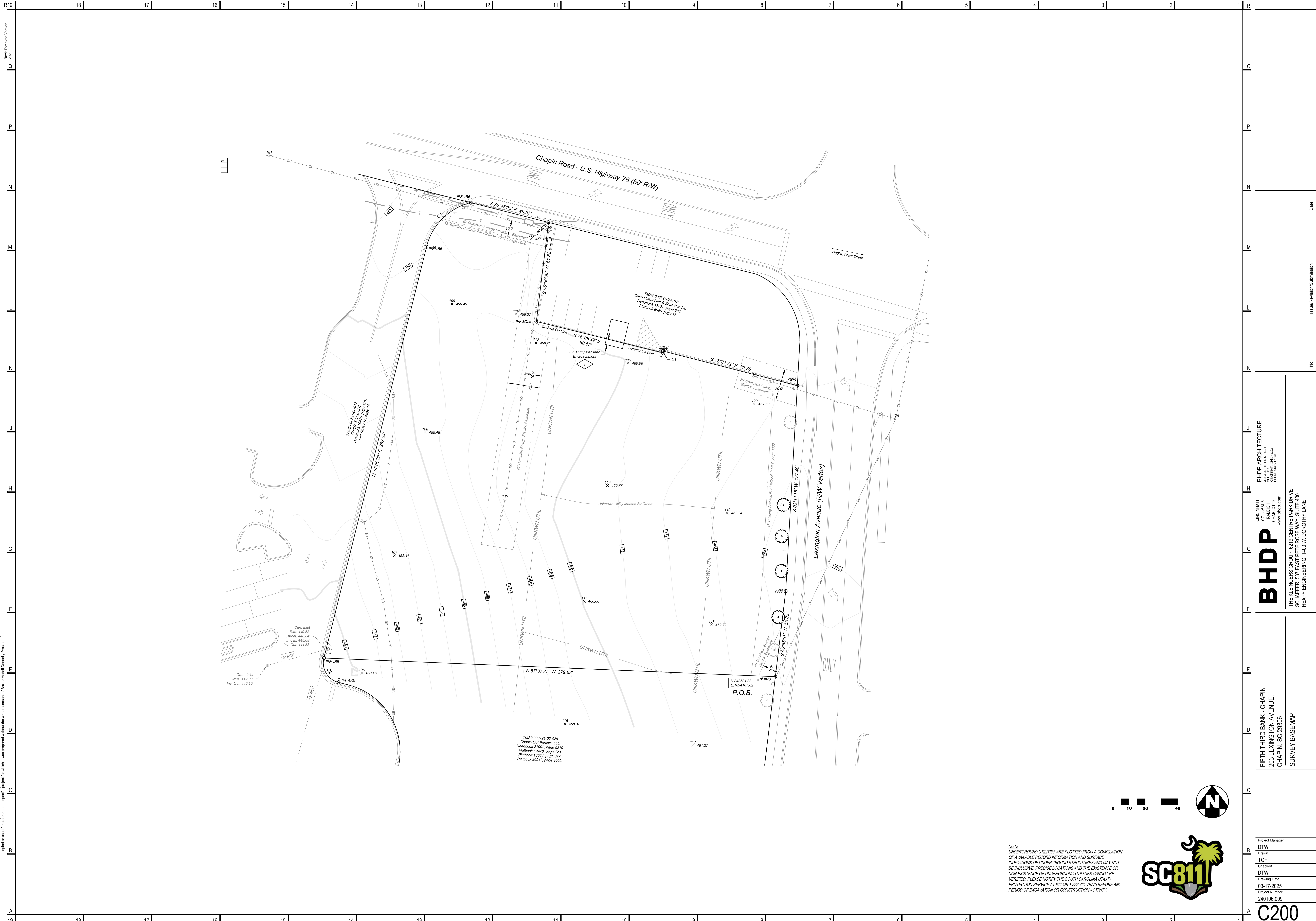
BHDP
BHP ARCHITECTURE
CINCINNATI
COLUMBUS
RALEIGH
CHARLOTTE
www.bhdp.com

KLINGERS GROUP 6219 CENTRE PARK DRIVE, WEST CHESTER, OH 45069
SCHAEFER 537 E. PETE ROSE WAY, #400 CINCINNATI, OH 45269
HEAPP ENGINEERING 1400W DOROTHY LANE, DAYTON, OHIO 45409

FIFTH THIRD BANK - CHAPIN
203 LEXINGTON AVE, CHAPIN, SC 29306

TRASH ENCLOSURE AND DETAILS

A. PRELIMINARY ARB REVIEW
Issue/Revision/Date
04.23.2025
Date



This document is the product and property of Blake Model Donnelly Preston, Inc. Neither the document nor the information it contains may be copied or used for other than the specific project for which it was prepared without the written consent of Blake Model Donnelly Preston, Inc.

R19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 R

C 200

Issue/Revision/Submission

No.

Date

Project Manager
DTW
Drawn
TCH
Checked
DTW
Drawing Date
03-17-2025
Project Number
240106.009

FIFTH THIRD BANK - CHAPIN
203 LEXINGTON AVENUE,
CHAPIN, SC 29506
SURVEY BASEMAP

BHDP
CHAPIN, SC
COLUMBUS
RALEIGH
CHARLOTTE
www.bhdp.com

BHDP ARCHITECTURE
1100 W. 11TH STREET
CHAPIN, SC 29506
PH: 803.737.1100

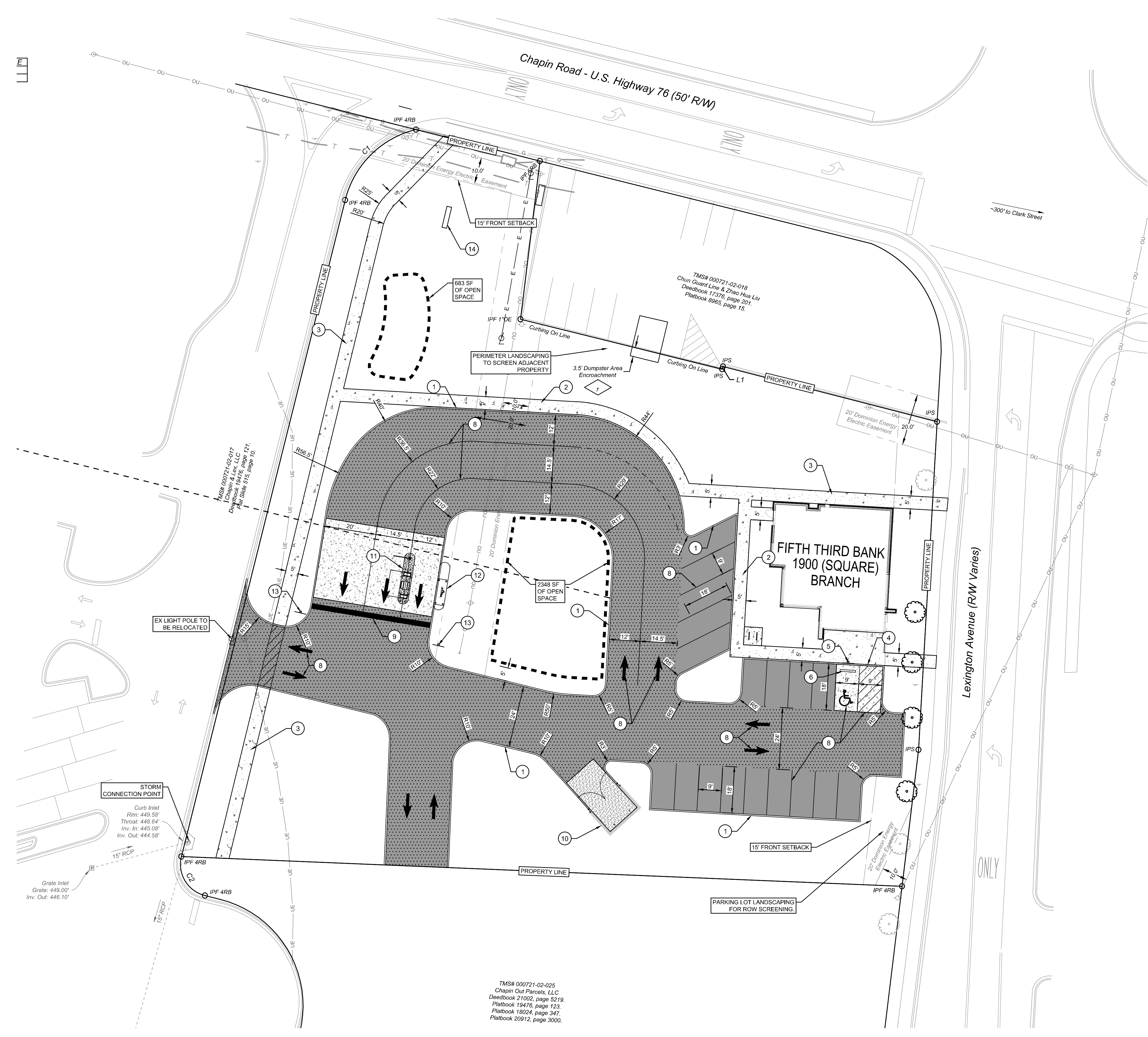
THE KLEINGERS GROUP, 6219 CENTRE PARK DRIVE
SCHAEFER, 537 EAST PETE ROSE WAY, SUITE 400
HEAUP ENGINEERING, 1400 W. DOROTHY LANE



NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE SOUTH CAROLINA UTILITY PROTECTION SERVICE AT 811 OR 1-888-721-7873 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



C200



PROPOSED LEGEND

[Symbol]	ASPHALT PAVEMENT
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	CONCRETE WALK
[Symbol]	STANDARD DUTY CONCRETE PAVEMENT COLORED BLACK
[Symbol]	HEAVY DUTY CONCRETE PAVEMENT

- CODED NOTES**
- 1 BARRIER CURB
 - 2 CONCRETE WALK WITH INTEGRAL CURB
 - 3 CONCRETE SLAB WALK
 - 4 CONCRETE WALK WITH FLUSH CURB
 - 5 ADA PARKING SIGN
 - 6 CONCRETE WHEEL STOP
 - 7 DETECTABLE WARNINGS
 - 8 PROPOSED STRIPING
 - 9 PROPOSED STOP BAR
 - 10 DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLAN FOR DETAILS.
 - 11 ATM ISLAND. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 12 VAT TUBE ISLAND. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 13 DO NOT ENTER SIGN
 - 14 PROPOSED MONUMENT SIGN

PARKING DATA AND DRIVE THROUGH

PARKING REQUIRED: 1 SPACE PER 400 SF
 1900 SF / 400 SF = 5 SPACES MIN
 *MAX = 125% OF MINIMUM = 6 SPACES
 *PARKING STUDY REQUIRED TO EXCEED MAX ALLOWABLE

TOTAL PARKING: 16 STANDARD SPACES
 1 ACCESSIBLE SPACE
 = 19 TOTAL SPACES

PARKING SPACE SIZE:
 9' X 18' FOR 90° PARKING, 24' AISLE
 9' X 20.1' FOR 60° PARKING, 14.5' AISLE

ACCESSIBLE PARKING: 96" WIDE

MINIMUM REQUIRED QUEUE: NOT SPECIFIED IN ZONING CODE

DRIVE THRU REQUIREMENTS: DRIVE-THROUGH PICK-UP, OR SERVICE WINDOWS SHALL BE LOCATED ON THE SIDE OR REAR OF THE PRINCIPAL USE, AND SHALL NOT FACE ANY PUBLIC RIGHT-OF-WAY

LOADING ZONE: *NOTE: FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES

BICYCLE PARKING: BICYCLE PARKING IS ONLY REQUIRED FOR USES WITH 25 PARKING SPACES OR MORE

OPEN SPACE REQUIREMENTS:
 5% OF THE TOTAL AREA IS REQUIRED FOR OPEN SPACE
 TOTAL SITE AREA: 58,289 SF (1.34 ACRES)
 OPEN SPACE REQUIRED: 2,914 SF (0.07 ACRES)
 OPEN SPACE PROVIDED: 3,031 SF (0.07 ACRES)

PROPERTY BUFFER AND SETBACK REQUIREMENTS:
 PROPERTY BUFFERS ARE NOT REQUIRED BETWEEN COMMERCIAL USE AND VICINITY DISTRICTS

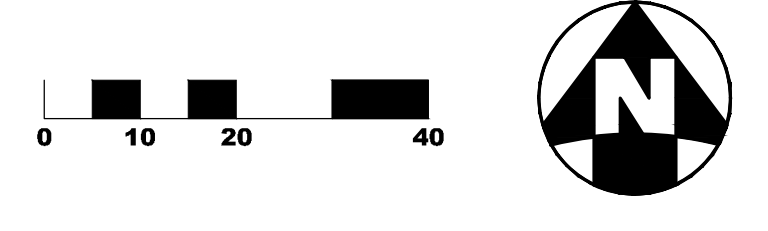
SETBACKS: FRONT: 15'
 SIDE: NONE
 REAR: THIS PROPERTY DOES NOT HAVE A REAR FACING SIDE

This document is the product and property of Bolder Model Drafting, Inc. Neither the document nor the information contained herein may be copied or used for other than the specific project for which it was prepared without the written consent of Bolder Model Drafting, Inc.

TMS# 000721-02-025
 Chapin Out Parcels, LLC
 Deedbook 21002, page 5219
 Platbook 19476, page 123
 Platbook 18024, page 347
 Platbook 20912, page 3000

STORM CONNECTION POINT
 Curb Inlet
 Rm: 449.55'
 Throat: 448.64'
 Inv. In: 445.00'
 Inv. Out: 444.58'

Grate Inlet
 Grate: 449.00'
 Inv. Out: 446.10'



Date _____
 Issue/Revision/Submission No. _____

BHDP ARCHITECTURE
 CHICKENKILL COLUMBUS
 RALEIGH CHARLOTTE
 www.bhdp.com

BHDP
 THE KLEINGERS GROUP, 6219 CENTRE PARK DRIVE
 SCHAEFFER, 537 EAST PETE ROSE WAY, SUITE 400
 HEAVY ENGINEERING, 1400 W. DOROTHY LANE

FIFTH THIRD BANK - CHAPIN
 203 LEXINGTON AVENUE,
 CHAPIN, SC 29306
 LOCATION PLAN

Project Manager
 DTW
 Drawn
 TCH
 Checked
 DTW
 Drawing Date
 03-17-2025
 Project Number
 240106.009

C300



- GRADING LEGEND**
- 1210 — EXISTING MAJOR CONTOUR
 - 1215 — EXISTING MINOR CONTOUR
 - 1215 — PROPOSED MAJOR CONTOUR
 - 1210 — PROPOSED MINOR CONTOUR

- SPOT ELEVATION LEGEND**
- x 1215.00 FINISHED GRADE ELEVATION
 - x 1215.00 BC BACK OF CURB ELEVATION
 - x 1215.00 EC EDGE OF CONCRETE ELEVATION
 - x 1215.00 EP EDGE OF PAVEMENT ELEVATION
 - x 1215.00 EG EDGE OF GRAVEL ELEVATION
 - x 1215.00 RM MANHOLE / CLEANOUT RIM ELEVATION
 - x 1215.00 TC STORM INLET TOP OF CASTING ELEVATION
 - x 1215.00 GRATE CATCH BASIN GRATE ELEVATION

- PROPOSED EROSION CONTROL LEGEND**
- IP INLET PROTECTION
 - SF SILT FENCE
 - TP TREE PROTECTION
 - CW CONCRETE WASHOUT
 - CE CONSTRUCTION ENTRANCE



NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE SOUTH CAROLINA UTILITY PROTECTION SERVICE AT 811 OR 1-888-721-7873 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



Date
Issue/Revision/Submission
No.

BHDP
THE KLEINGERS GROUP, 6219 CENTRE PARK DRIVE
SCHAEFFER, 537 EAST PETE ROSE WAY, SUITE 400
HEAUP ENGINEERING, 1400 W. DOROTHY LANE

FIFTH THIRD BANK - CHAPIN
203 LEXINGTON AVENUE,
CHAPIN, SC 29306
GRADING PLAN

Project Manager
DTW
Drawn
TCH
Checked
DTW
Drawing Date
03-17-2025
Project Number
240106.009

C400

This document is the product and property of Blake Model Donnelly Preston, Inc. Neither the document nor the information it contains may be copied or used in other than the specific project for which it was prepared without the written consent of Blake Model Donnelly Preston, Inc.



- CONSTRUCTION NOTES:**
1. TIE INTO EXISTING LANDSCAPE BED
 2. EXISTING TREE, PROTECT IN PLACE
 3. BIKE RACK, REFER TO LOCATION PLAN

- LEGEND**
- PROPERTY LINE

- SURFACE ITEMS**
- S1 STANDARD CONCRETE TYP. SEE CIVIL DRAWINGS
 - S2 STONE SURFACING, TYP.
 - S3 TURFGRASS SEED, TYP.
 - S4 PLANTING AREA, TYP.

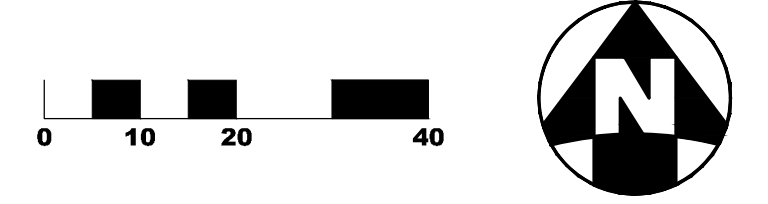
- PLANT MATERIAL**
- DECIDUOUS TREE, TYP.
 - ORNAMENTAL TREE, TYP.
 - EVERGREEN TREE, TYP.
 - SHRUBS, PERENNIALS & ORNAMENTAL GRASSES, TYP.
 - EXISTING TREES TO REMAIN, PROTECT IN PLACE

PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES:					
LIQ STY	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	3" CAL. MIN.	B&B	
EVERGREEN TREES:					
MAG GRA	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	3" CAL. MIN.	B&B	
ORNAMENTAL TREES:					
LAG CRE	LAGERSTROEMIA	CREPE MYRTLE	7" HT. MIN.	B&B	MULTI-STEM
SHRUBS:					
ARO MEL	ARONIA MELANOCARPA	BLACK CHOKEBERRY	24" HT. MIN.	B&B	PLANT 3' O.C.
ILE GLA	ILEX GLABRA 'SHAMROCK'	SHAMROCK HOLLY	24" HT. MIN.	CONT.	PLANT 3' O.C.
JUN COM	JUNIPERUS COMMUNIS	COMMON JUNIPER	30" HT. MIN.	B&B	PLANT 6' O.C.
RHO AZA	RODODENDRON SPP.	COMPACT AZALEA	24" HT. MIN.	CONT.	PLANT 5' O.C.
PERENNIALS AND ORNAMENTAL GRASSES:					
AMS TAB	AMSONIA TABERNAEMONTANA	BLUE STAR	#2	CONT.	PLANT 18" O.C.
BOU GRA	BOUTELOUA GRACILIS	BLUE GRAMA	#2	CONT.	PLANT 18" O.C.
COR LAN	COREOPSIS LANCEOLATA	LANCE LEAF COREOPSIS	#2	CONT.	PLANT 18" O.C.
ECH PUR	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#2	CONT.	PLANT 24" O.C.
GAL GRA	GALLARDA GRANDIFLORA	BLANKET FLOWER	#2	CONT.	PLANT 36" O.C.
MUH CAP	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	#2	CONT.	PLANT 24" O.C.
RUD FUL	RUIDECKIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSAN	#2	CONT.	PLANT 24" O.C.
SCH SCO	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#2	CONT.	PLANT 18" O.C.

TURFGRASS SEED: SEE SPECIFICATIONS

- GENERAL NOTES**
1. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 2. SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE SOUTH CAROLINA UTILITIES PROTECTION SERVICE (SC811) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
 3. ALL CONCRETE FORMS SHALL BE FIELD STAKED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONCRETE INSTALLATION.
 4. ALL HORIZONTAL AND VERTICAL LAYOUT SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE TO ENSURE GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
 5. PROVIDE AN ISOLATION JOINT WHERE CONCRETE PAVING ABUTS BUILDINGS, COLUMNS, AND STRUCTURES. VERIFY COLOR OF SEALANT WITH OWNER'S REPRESENTATIVE.
 6. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
 7. CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH SITE SUPERINTENDENT, APPROPRIATE AGENCIES, AND PLANS FOR LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES.
 8. CONTRACTOR TO REPORT TO ENGINEER ANY ADDITIONAL UTILITY LINES FOUND DURING CONSTRUCTION.
- PLANTING NOTES**
1. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 2. CONTRACTOR SHALL VERIFY ALL PLANTING CONDITIONS FOR OBSTRUCTIONS, EXISTING TREE CANOPY COVERAGE, AND OVERHEAD ELECTRICAL POWER LINES PRIOR TO PLANTING. IF ADVERSE PLANTING CONDITIONS ARE OBSERVED, CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
 3. ALL SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, EDGED APPEARANCE.
 4. SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE SOUTH CAROLINA UTILITIES PROTECTION SERVICE (SC811) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
 5. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED.
 6. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
 7. THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY ALIGNED AND SET PLUMB WITH PROPER RELATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED GRADE PRIOR TO PLANTING.
 8. ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED. IF SUBSTITUTIONS ARE APPROVED BY THE OWNER'S REPRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL CONFORM TO THOSE OF AMERICANHORT.
 9. PRIOR TO ORDERING PLANT MATERIAL, THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLAN, LABELS, AND PLANT SCHEDULE.



NOTE:
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE SOUTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 1-888-721-7873 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



CHAPIN, SC LANDSCAPE ARCHITECTURE
 203 LEXINGTON AVENUE, CHAPIN, SC 29506
 LANDSCAPE PLAN
 L100
 Project Manager: DTW
 Drawn: DTW
 Checked: DTW
 Drawing Date: 03-17-2025
 Project Number: 240106.009

This document is the product and property of Blake Model Donnelly Preston, Inc. Neither the document nor the information it contains may be copied or used for other than the specific project for which it was prepared without the written consent of Blake Model Donnelly Preston, Inc.

BHDP +

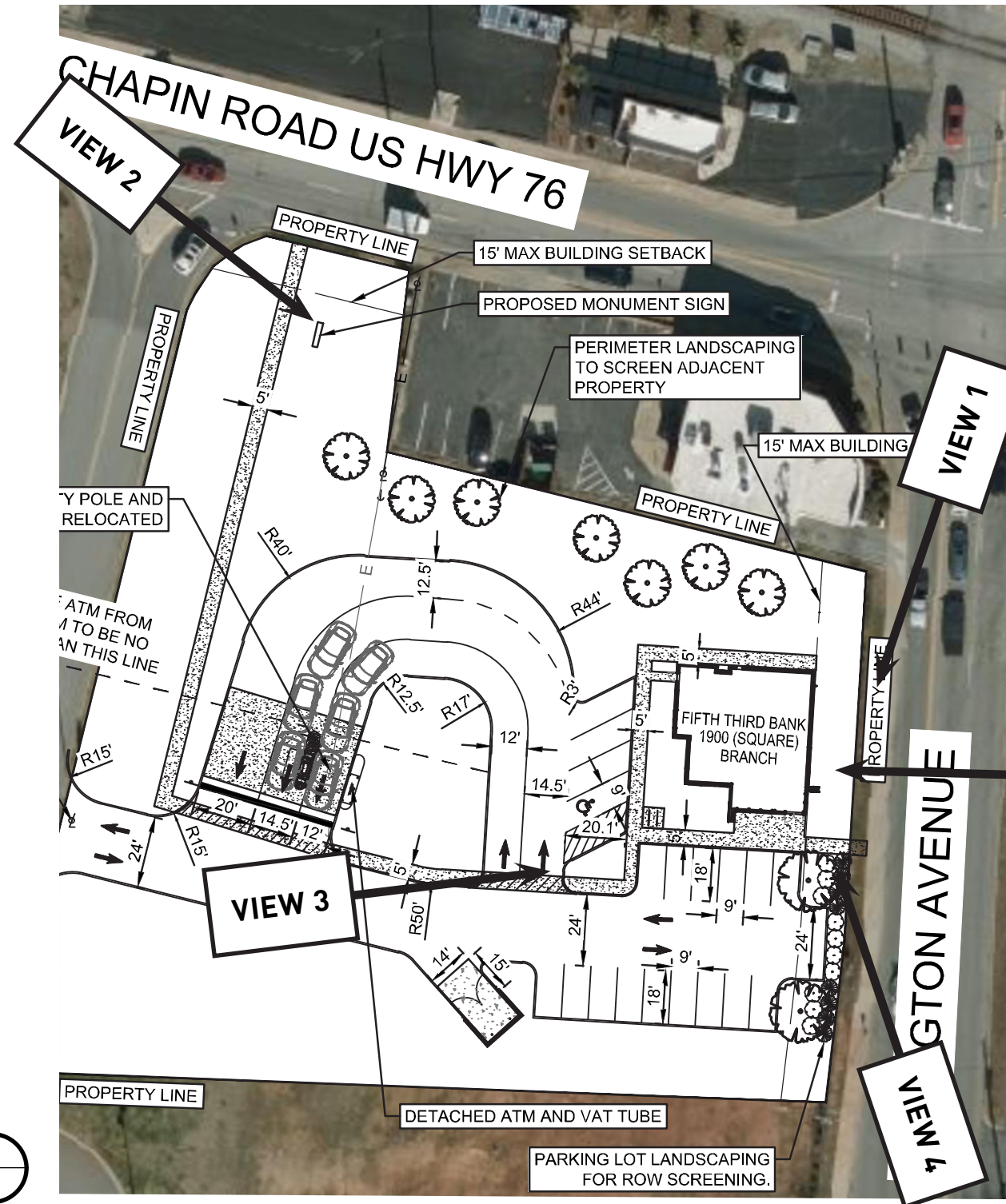


Chapin
FIF22.36

Architectural Design Deck
4.16.25

IAPIN

TITLE: SITE ADAPTATION PLAN



SITE DATA

SITE ADDRESS: 203 LEXINGTON AVENUE
CHAPIN, SC 29306

EXISTING PARCEL NUMBER: 000721-02-024

EXISTING BUILDING AREA: 1900 SF

EXISTING ZONING: VC - VILLAGE COMMERCIAL

EXISTING OVERLAY: DOWNTOWN DISTRICT

EXISTING LOT AREA: ~1.34 ACRES

EXISTING USE: VACANT LOT

FUTURE USE: BANK WITH ASSOCIATED PARKING AND DRIVE THROUGH

SETBACKS: FRONT: MINIMUM 0', MAXIMUM 15'
SIDE: 0'
REAR: 10'

PARKING DATA AND DRIVE THROUGH

PARKING REQUIRED: 1 SPACE PER 400 SF
1900 SF / 400 SF = 5 SPACES MIN
*MAX = 125% OF MINIMUM = 6 SPACES
*PARKING STUDY REQUIRED TO EXCEED MAX ALLOWABLE

TOTAL PARKING: 18 STANDARD SPACES
1 ACCESSIBLE SPACE
= 19 TOTAL SPACES

PARKING SPACE SIZE: 9' X 18' FOR 90° PARKING, 24' AISLE
9' X 20.1' FOR 60° PARKING, 14.5' AISLE

ACCESSIBLE PARKING: 96" WIDE

MINIMUM REQUIRED QUEUE: NOT SPECIFIED IN ZONING CODE

DRIVE THRU REQUIREMENTS: DRIVE-THROUGH, PICK-UP, OR SERVICE WINDOWS SHALL BE LOCATED ON THE SIDE OR REAR OF THE BUILDING. ALL NOT FACE ANY PUBLIC RIGHT-OF-WAY

BICYCLE PARKING: BICYCLE PARKING IS ONLY REQUIRED FOR USES WITH 25 PARKING SPACES OR MORE

*NOTE: FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES

BUILDING REQUIREMENTS

HEIGHT LIMIT: 35'

FLOODPLAIN

FLOOD ZONE X

STORMWATER

CONNECT TO EXISTING STORM NETWORK IN THE SOUTHWEST CORNER OF THE LOT THAT LEADS TO THE POND BEHIND PUBLIX.

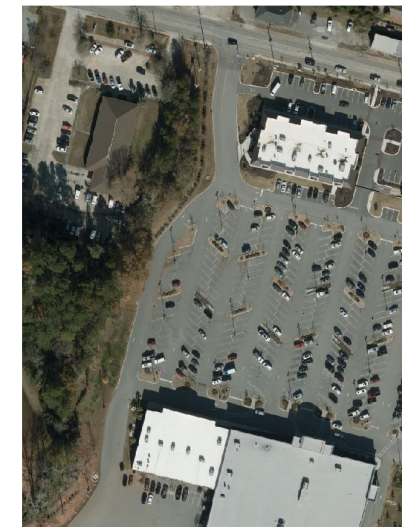
LANDSCAPE REQUIREMENTS

1. WALKWAYS SHALL HAVE LANDSCAPING ALONG AT LEAST 30% OF THEIR TOTAL LENGTH. LANDSCAPE LIGHTING IS LIMITED TO 900 LUMENS PER FIXTURE.
2. CROSSWALKS SHALL BE IN COMPLIANCE WITH SECTION 8.6.4. MATERIALS USED FOR CROSSWALKS SHOULD BE COMPATIBLE WITH PREDOMINANT MATERIALS USED FOR THE SITE AND/OR BUILDING FACADES. THE ARB MAY ALLOW STAMPING OR OTHER FORMS OF GIVING TEXTURE TO THE CROSSWALK WHEN APPROPRIATE.

5. MINIMUM HEIGHT OF SCREEN: SHALL INCLUDE A HEDGE, DENSE SHRUB PLANTING, MASONRY WALL, WOOD FENCE, OR COMBINATION OF SUCH FEATURES THAT RESULTS IN A CONTINUOUS VISUAL SCREEN ALONG THE LENGTH OF ITS FRONTAGE. HEDGES AND SHRUBS SHALL BE INSTALLED AT A HEIGHT OF 2', AS LONG AS THE SPECIES SELECTED GROWS TO AT LEAST 4' IN HEIGHT WITHIN 4 YEARS OF INSTALLATION.
6. MINIMUM LENGTH OF SCREEN: THE LENGTH OF A REQUIRED SCREEN SHALL BE THAT WHICH IS NECESSARY TO TOTALLY VISUALLY SCREEN THE FEATURE FROM PROTECTED PROPERTIES, STREETS, AND RIGHTS-OF-WAY AS PROVIDED IN THIS SECTION.
7. MINIMUM PLANTINGS: PARKING LOT SCREENS SHALL COMPLY WITH THE FOLLOWING LANDSCAPING STANDARDS: PARKING LOT SHALL CONTAIN AT LEAST ONE CANOPY TREE FOR EVERY 40 LINEAR FEET OF STREET FRONTAGE, EXCLUDING PORTIONS OF THE FRONTAGE WHERE DRIVEWAYS ARE LOCATED AND AREAS NECESSARY TO AVOID INTRUSION INTO CLEAR SIGHT TRIANGLES. EXISTING TREES THAT ARE CONSIDERED ICONIC, SIGNIFICANT, OR HISTORIC MAY COUNT TOWARDS THIS REQUIREMENT.

INTERIOR LANDSCAPING REQUIREMENTS

1. NO PARKING SPACE SHALL BE FURTHER THAN 60' LINEAR FEET FROM A LARGE CANOPY TREE.
2. ONE LARGE CANOPY TREE SHALL BE REQUIRED AT THE END OF EVERY ROW OF PARKING. THIS INCLUDES TREES LOCATED WITHIN REQUIRED LANDSCAPE ISLANDS.
3. LANDSCAPED AREAS WITHIN OR ADJACENT TO PARKING AREAS MUST BE PROTECTED FROM VEHICULAR DAMAGE BY A RAISED CURB, WHEEL STOPS OR APPROVED EQUIVALENT BARRIER OF AT LEAST SIX INCHES IN HEIGHT.
4. CREATIVE LANDSCAPING PLANS THAT INCORPORATE LARGER ISLANDS OR DIFFERENT SPACING OF LANDSCAPED AREAS THAN REQUIRED IN THIS SECTION MAY BE APPROVED BY THE ZONING ADMINISTRATOR, AS LONG AS THE MINIMUM AREA OF LANDSCAPING AND MINIMUM NUMBER OF TREES IS PROVIDED.



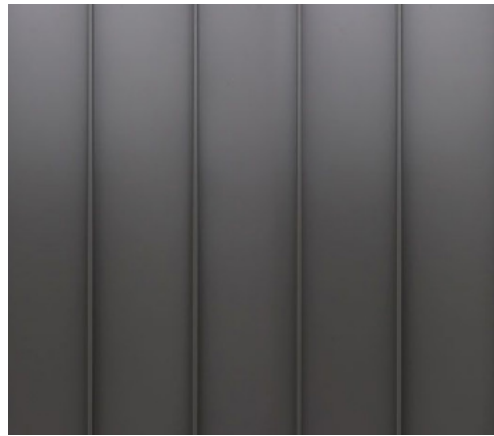












Dark Bronze Metal Roof



Dark Bronze Aluminum Storefront



Brick - Glacier White



Alucobond - New Aged Dark Bronze Canopies and Coping



Brick - Slate Gray



Branded Mural featuring Town of Chapin Approved Colors (Sheer Mist, Stone Fireplace and English Castle)







BHDP

Design for **People**